



CLASS A OFFICE SPACE FOR LEASE on 9.9 Acre Campus

1225 Garrison Drive – Murfreesboro, TN



LEASE DETAILS:

- **PRICE: \$29.50 PSF NNN**
- 2,523 SF Exceptional Class A Office Space on 9.9 Ac Campus
- Main Tenants are Pinnacle Financial & Kasai
- Within a block of Ascension-St. Thomas Hospital, TrustPoint Hospital, Murfreesboro Medical Clinic & Vanderbilt Pediatric Clinic
- 306 Parking Spaces
- On-site back up generator
- Located in the heart of Murfreesboro's
- Gateway Office/ Medical Corridor
- Convenient to I-24 Exit 76/Medical Center Pkwy

John Harney
BROKER

615.542.0715

john@parktrust.com

TN License: 221569

ParkTrust
COMMERCIAL

1225 Garrison Drive, Suite 202
Murfreesboro, TN 37129
615.234.5020

www.parktrustcommercial.com

1255 Garrison Drive – Murfreesboro, TN



1255 Garrison Drive – Murfreesboro, TN





New Vision Church

Stones River National
Battlefield Park

Vanderbilt
Pediatric Center

★ SITE

MMC
MURFREESBORO
MEDICAL CLINIC
& SURGICENTER

Gateway Park,
Lake & Greenway

Bark Park

TrustPoint
HOSPITAL

First National
Bank

Tenn
Pediatrics

Consumer Ins.

Waterstone 2
Medical

To I-24
Exit 76

LC Murfreesboro
Apartments

Saint Thomas
Health

ASCENSION

Red Realty/
Walk in
Clinic

FOUNTAINS
AT GATEWAY

THE GATEWAY
VILLAGE

Franklin Synergy
Bank

Stonegate Corporate
Center

Medical Center Pkwy

Thompson Lane

Gateway Medical
Centers

Old Fort Golf Course

Downtown

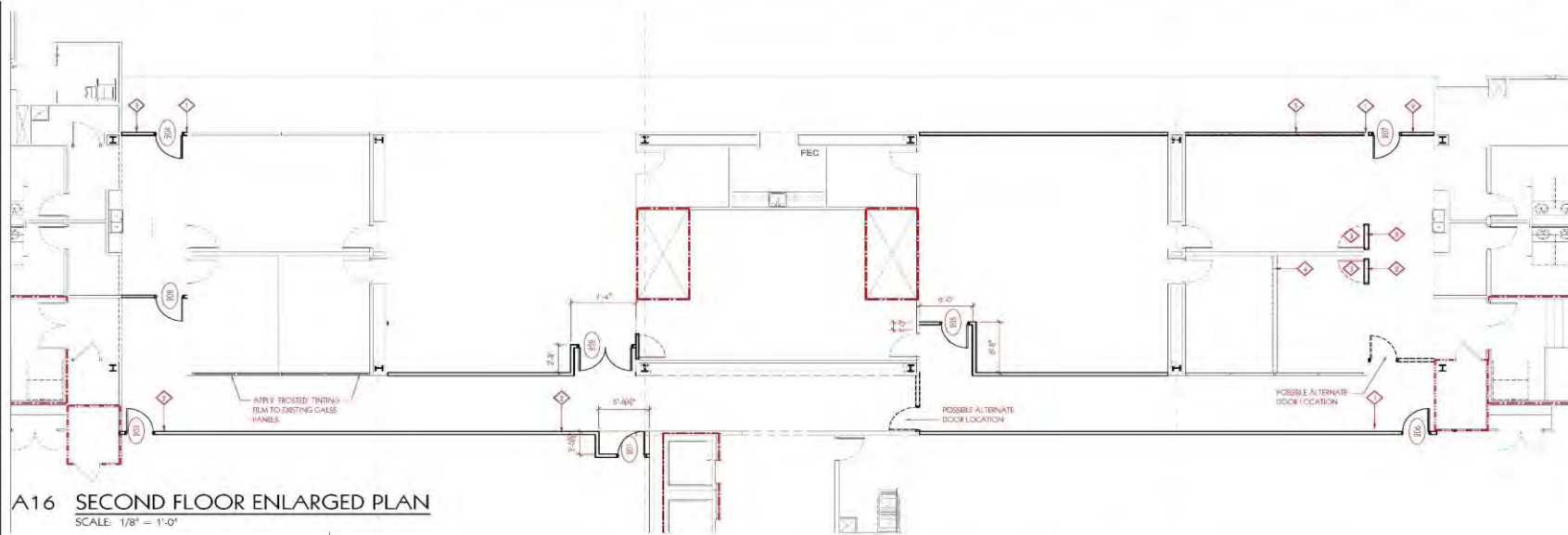
Fortress Rosecrans

THE AVENUE[®]
MURFREESBORO

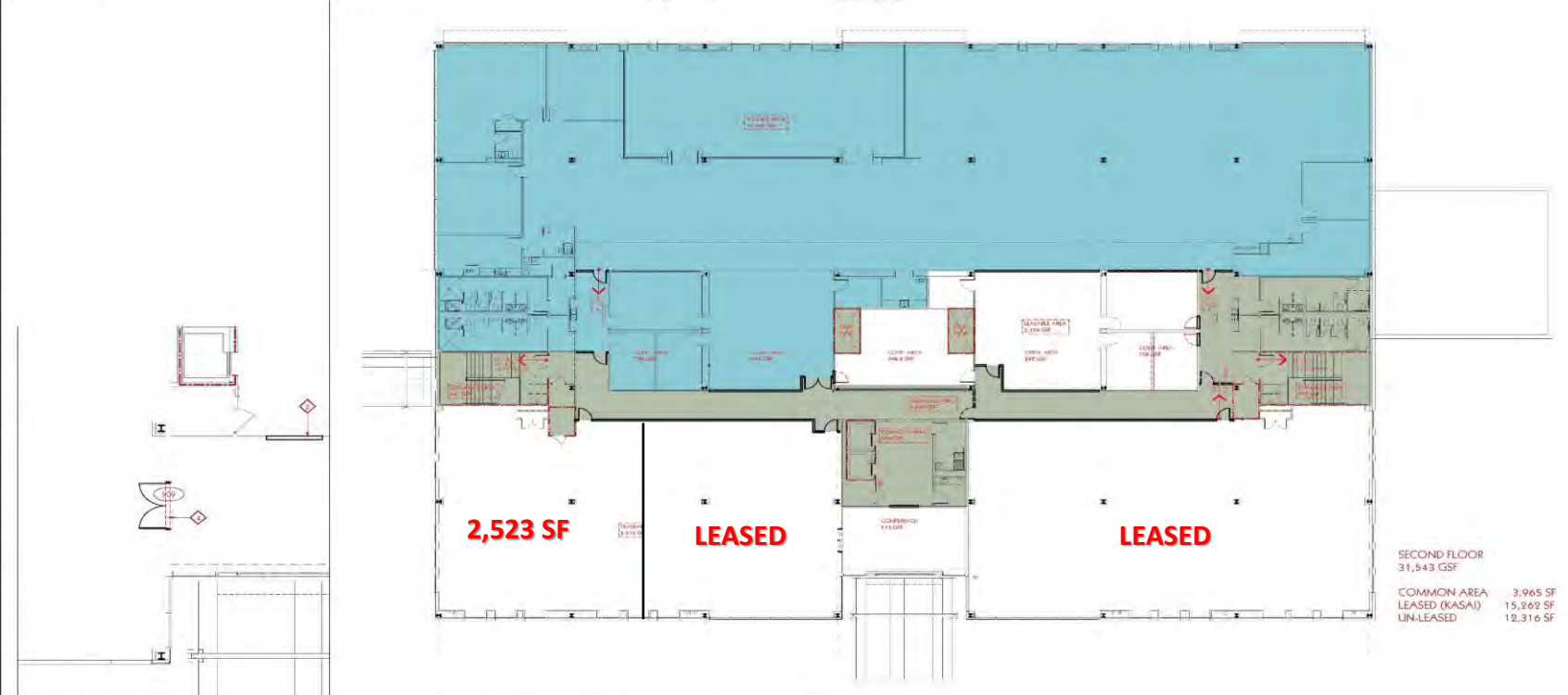
THE OAKS
MURFREESBORO, TENNESSEE

rd County Agri Center

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A16 SECOND FLOOR ENLARGED PLAN
SCALE: 1/8" = 1'-0"



A16 ENLARGED PLAN
SCALE: 1/8" = 1'-0"

A13 SECOND FLOOR LIFE SAFETY & EXIT PLAN
SCALE: 1/16" = 1'-0"

DOOR SCHEDULE											
PR. NO.	DOOR INFORMATION				FRAME INFO		RATINGS		H.W.		COMMENTS
	WIDTH	HEIGHT	THICK	MATL.	TYPE	MATL.	TYPE	LABEL	MIN.		
101	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
102	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
103	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
104	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
105	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
106	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
107	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
108	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
109	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
110	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
111	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
112	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
113	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
114	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
115	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
116	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
117	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
118	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13
119	3'-0"	7'-0"	1-3/4"	SCWD	1P	HM	S2	-	-	-	7, 13

DOOR / FRAME / HARDWARE COMMENTS:

1. WEATHERSTRIP WITH THRESHOLD
2. CLOSER (MATCH HARDWARE FINISH)
3. MAGNETIC HOLD OPEN DEVICE
4. TWO DEGREE HANDLES WITH H WALL BUMPERS
5. VIEW PORT (PEEP HOLE)
6. ENTRY FROM STAIR WITH KEY ONLY
7. PANIC BAR HARDWARE
8. PANIC BAR HARDWARE WITH ALARM (DELAYED EGRESS)
9. PROVIDE DEAD-BOLT LOCK
10. PRIVACY (BATH) LOCK
11. PRIVACY (BEDROOM) LOCK
12. PASSAGE (CLOSET) HARDWARE
13. PRIVACY LOCK KEYS TO MASTER KEY
14. PRIVACY LOCK, KEYS SEPARATELY
15. KEYPAD ENTRY SYSTEM (COORD WITH TENANT)
- 16.
- 17.
- 18.

DOOR & FRAME TYPES
ALL FRAMES TO BE HOLLOW METAL UNLESS OTHERWISE NOTED.
ALL DOORS TO BE STAIN GRADE AND MATCH EXISTING FINISH.

GENERAL DOOR NOTES

1. ALL DOOR HARDWARE TO BE LEVER (APPROVED TO BE ADA COMPLIANT) HANDLES UNLESS OTHERWISE NOTED.
2. ALL DOOR LATCHES TO CLOSETS, STORAGE AREAS, KITCHENS, AND OTHER SIMILAR SPACES OR AREAS SHALL BE SUCH THAT OCCUPANTS CAN OPEN THE DOOR FROM INSIDE THE SPACE OR AREA. (NFPA 101, 16.9.2.3.4)
3. EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO ALLOW OPENING OF THE LOCKED DOOR FROM THE OUTSIDE BY OPENING DEVICE THAT SHALL BE READILY ACCESSIBLE TO THE STAFF. (NFPA 101, 16.9.2.3.3)
4. CLOSURES AND POSITIVE LATCHING HARDWARE ARE REQUIRED ON FIRE RATED DOOR ASSEMBLIES AND DOORS IN SMOKE PARTITIONS AND SHAWERS. (IFC 7.16.3.4)

GENERAL NOTES

1. THE CONTRACTOR ACKNOWLEDGES THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK AND THAT HE HAS VISITED THE SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR WORK IN THE DOCUMENTS THAT CANNOT BE PERFORMED DUE TO EXISTING OR CONTRADICTORY CONDITIONS.
3. IF EXISTING ITEMS AND/OR CONSTRUCTION MUST BE REMOVED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PATCH AS INDICATED OR AS NECESSARY TO MATCH ORIGINAL CONDITION.
4. PROJECT SCHEDULING AND PHASING MUST BE COORDINATED AND APPROVED BY THE OWNER.
5. ANY SHUT DOWN OF THE ELECTRICAL OR MECHANICAL SERVICE MUST BE SCHEDULED WITH THE OWNER.
6. DIMENSIONS FOR NEW CONSTRUCTION ARE FACE TO FACE OF FINISH OR COLUMNS AND FACE TO FACE OF CONCRETE OR MASONRY WALLS UNLESS OTHERWISE NOTED. DIMENSIONS INDICATE NOMINAL DIMENSIONS RATHER THAN ACTUAL DIMENSIONS.
7. DIMENSIONS FOR EXISTING WORK ARE FACE TO FACE OF EXISTING SURFACES PRIOR TO ANY REQUIRED DEMOLITION.
8. EXTEND ALL FIRE RATED WALL TO DECK ABOVE AND SEAL TO MATCH WALL RATING. TELL ALL VOIES WITH GYPSUM AND/OR SAFING MATERIALS AS REQUIRED AND CALL OUT CONTINUOUSLY.

ARCHITECTURAL KEYNOTES

1. ALIGN NEW CONSTRUCTION WITH EDGE, FACE OR CORNER OF EXISTING CONSTRUCTION TO PROVIDE SMOOTH, SEAMLESS TRANSITION.
2. NEW CORRIDOR DEMISING WALL, ONE LAYER OF GYPSUM BOARD ON EACH SIDE OF 3" METAL STUDS, EXTEND STUDS AND GYPSUM BOARD TO ROOF / FLOOR DECK ABOVE AND SEAL SMOKE TIGHT. WHEN WALL IN INRILL FOR DOOR OR WINDOW LOCATIONS, ALIGN FACE OF GYPSUM BOARD WITH FACE OF EXISTING SURFACES TO PROVIDE SMOOTH, SEAMLESS TRANSITION.
3. EXISTING DOOR, FRAME AND RELATED ATTACHMENTS TO BE REMOVED AND SALVAGED AS DIRECTED BY OWNER.
4. EXISTING WALL AND RELATED ATTACHMENTS TO BE REMOVED. PREPARE FLOORS AND CEILINGS FOR NEW MATERIALS.
5. EXISTING FRAMED GLASS WALL PANELS TO BE REMOVED AND SALVAGED AS DIRECTED BY THE OWNER.

WALL LEGEND	
	EXISTING NON RATED WALL TO REMAIN
	EXISTING NON RATED EXTERIOR WALL WITH BRICK VENEER TO REMAIN
	EXISTING ONE HOUR RATED WALL TO REMAIN
	EXISTING TWO HOUR RATED WALL TO REMAIN
	EXISTING WALL, DOOR, FRAME, HARDWARE AND RELATED ATTACHMENTS TO BE REMOVED
	NEW GYPSUM BOARD ON EACH SIDE OF 3" METAL STUDS, EXTEND STUDS AND GYPSUM BOARD TO FLOOR / ROOF DECK ABOVE

KASAI

HO BUILDING REIFICATION PLAN
CAMERON ROAD
MURFREESBORO, TN 37117

PROJ. NO.: 2022010
DATE: 05.30.25

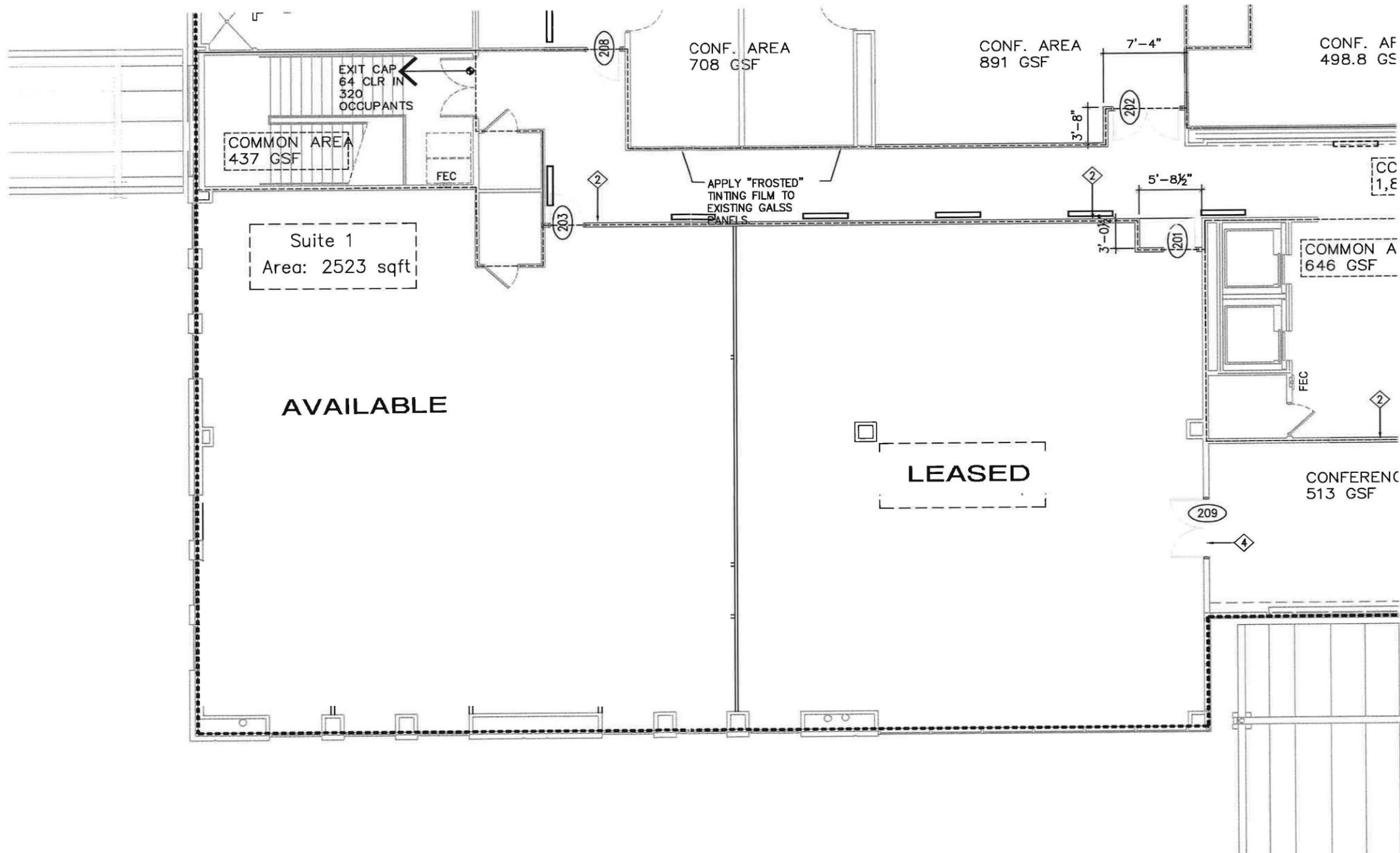
PICKLESIMER ROBERTS ARCHITECTURE

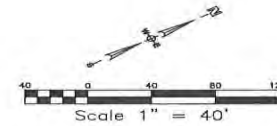
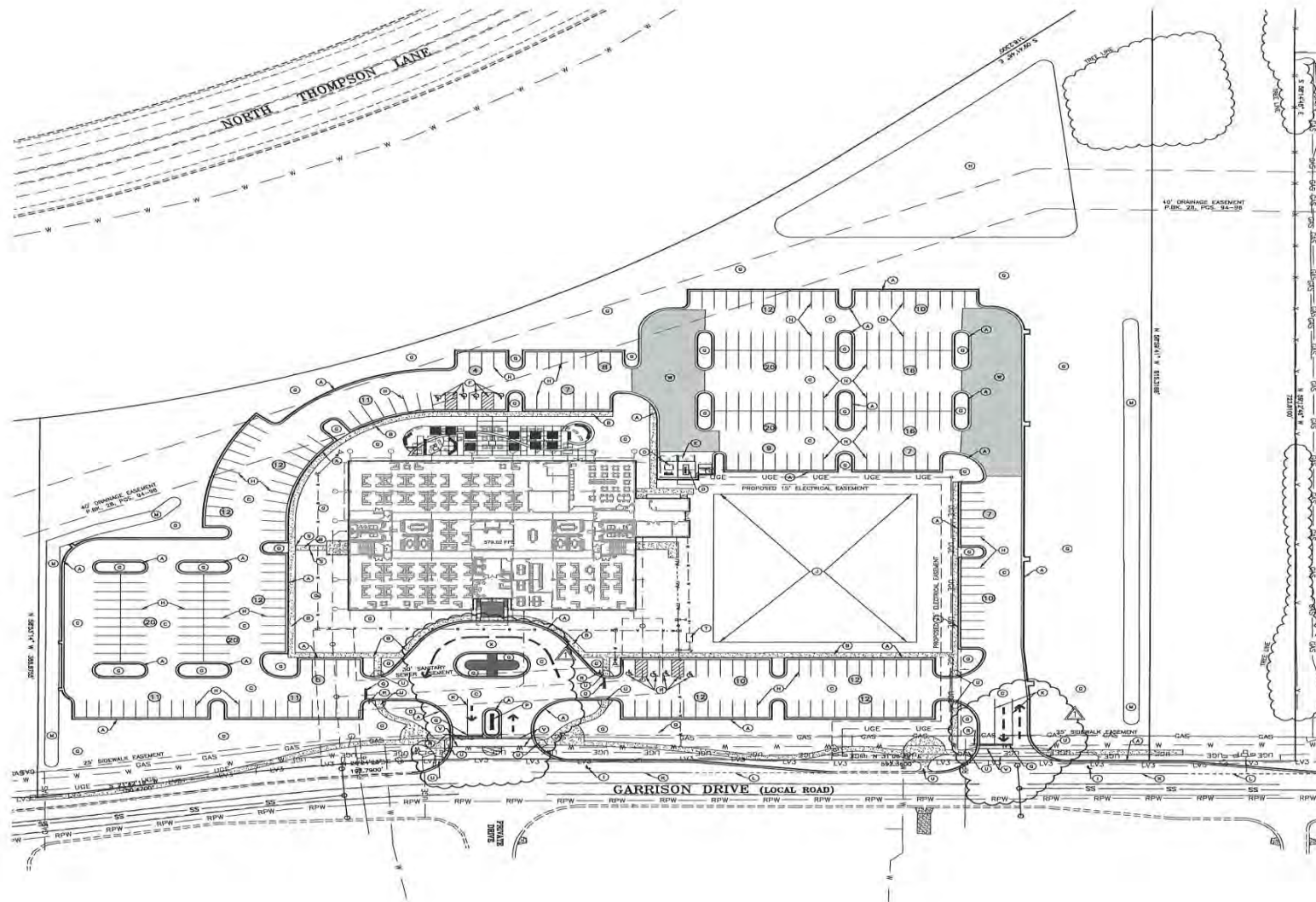
MICHAEL W. PICKLESIMER
REGISTERED ARCHITECT
STATE OF TENNESSEE
001220000

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615.714.3753 (c)
mpicklesimer@comcast.net
1817 HOLLOWAY CIRCLE
MURFREESBORO, TN 37117

SECOND FLOOR SEPARATION PLAN

A1.20





- KEYNOTE LEGEND**
- ① RECD 24" CONCRETE CURB AND GUTTER (TYP.)
 - ② RECD 4" THICK CONCRETE SIDEWALK
 - ③ RECD STONE/GRASS DIRT ASPHALT PAVING
 - ④ RECD TRANSFORMER (SEE ELECTRICAL PLANS)
 - ⑤ RECD CONCRETE PAVING
 - ⑥ RECD LANDSCAPE SIGNS, MARKINGS AND PARKING STRIPES, PER ADA SPECIFICATIONS
 - ⑦ RECD 4" WIDE, WHITE PARKING STALL STRIPE
 - ⑧ RECD TRAFFIC CONTROL MARKINGS
 - ⑨ PHASE 2 BUILDING LOCATION, RECD AND STRIP ALL DISTURBED AREAS
 - ⑩ RECD 4" WIDE, SOLID WHITE, TRAFFIC STRIPE
 - ⑪ RECD 4" WIDE, DASHED WHITE, TRAFFIC STRIPE
 - ⑫ RECD 80-80-80 AREA
 - ⑬ RECD DETENTION POND
 - ⑭ RECD CHAMBER & ENCLOSURE (SEE LANDSCAPE PLAN FOR SCREENING)
 - ⑮ RECD MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
 - ⑯ RECD 24" WIDE, PAINTED WHITE, STOP BAR
 - ⑰ RECD STOP SIGN
 - ⑱ RECD STEPS
 - ⑲ RECD DOMESTIC WATER VAULT WATER VAULT (SEE LANDSCAPE PLAN FOR SCREENING)
 - ⑳ RECD HANDICAP RAMP, PER ADA SPECIFICATIONS
 - ㉑ RECD 8" WIDE DOUBLE LINE CROSS WALK
 - ㉒ RECD HEAVY DUTY ASPHALT PAVING

SUBJECT PROPERTY IS WITHIN THE GARDEN DISTRICT

← TYPICAL FLOW ARROW

SITE DATA TABLE

ZIP CODE	35003
LOT SIZE	10.0 ACRES 435731 SQ. FT.
BUILDING SIZE	FIRST FLOOR - 32,815 SQ. FT.
	SECOND FLOOR - 32,847 SQ. FT.
	TOTAL - 65,662 SQ. FT.
BUILDING HEIGHT	2 STORIES
TOTAL SPACES REQUIRED (1 PER 300 SF BLDG)	213
TOTAL PARKING PROVIDED	308
TOTAL N.C. SPACES	95

SET BACKS

PROPOSED USE: COMMERCIAL OFFICE

OPEN SPACE CALCULATIONS:

PROPOSED SPD: APPROX 10.0 ACRES=435,731 SQ. FT.
MIN. 20% OF SITE TO BE REQUIRED OPEN SPACE
REQUIRED OPEN SPACE: 87,146.22
ALL LANDSCAPE AREAS LARGER THAN 200 SQUARE FEET
CONSTITUTE OPEN SPACE. DEFINED AS AREAS THAT ARE NOT PAVED
CURBS OR SIDEWALKS, BUILDINGS, WALLS, FENCES, AND PAVES
WALLS AND AREAS THAT RUN THROUGH LANDSCAPED AREAS SHALL
BE PERMITTED TO COUNT TOWARDS OPEN SPACE.
PROPOSED OPEN SPACE: 228,784.32
TOTAL OPEN SPACE: 315,930.52

OPEN SPACE CALCULATIONS: (SEE SHEET 1100)

* FORMAL SPACE - FOR COMMERCIAL DEVELOPMENTS GREATER
THAN 2 ACRES OR 40,000 SQ. FT., THE FORMAL SPACE IS TO
BE 3% OF THE SITE'S DEVELOPABLE AREA
3% = 13,072.93 SQ. FT. = 13,073 REQUIRED
14,178.34 PROVIDED

REVISION	DESCRIPTION	DATE	BY
1	REVISED REVISION #1	09-24-13	ML

KASAI / M-TEK

NORTH AMERICAN HEADQUARTERS

1225 GARRISON DR.
MURFREESBORO, TN



PROJECT # 14-051
FILE NAME: 05-06-2013
DATE: 05-06-2013
DRAWN BY: NTL/ML
CHECKED BY: ML

LAYOUT PLAN

SHEET NUMBER
C301
OF
18

**PUGH WRIGHT
MCANALLY**
CIVIL ENGINEERS
310 8th AVENUE NE - PO BOX 2419 - DECATUR, AL - (256) 353-3537
Pugh Wright McAnally, Inc. www.pughwrightmcanally.com

CONSULTING ENGINEERS
310 8th AVENUE NE - PO BOX 2419 - DECATUR, AL 35601
(256) 353-3537 FAX: (256) 353-3537
CEN-Project 14-051



Demographic Summary Report

1225 Garrison Dr, Murfreesboro, TN 37129

Building Type: **Class B Office**
 Class: **B**
 RBA: **62,280 SF**
 Typical Floor: **31,140 SF**

Total Available: **12,000 SF**
 % Leased: **80.73%**
 Rent/SF/Yr: **\$29.50**



Radius	1 Mile		3 Mile		5 Mile	
Population						
2028 Projection	5,804		66,114		183,419	
2023 Estimate	5,046		59,804		165,896	
2010 Census	1,822		41,226		114,224	
Growth 2023 - 2028	15.02%		10.55%		10.56%	
Growth 2010 - 2023	176.95%		45.06%		45.24%	
2023 Population by Hispanic Origin	339		4,620		13,560	
2023 Population	5,046		59,804		165,896	
White	3,981	78.89%	44,818	74.94%	122,247	73.69%
Black	674	13.36%	10,277	17.18%	30,776	18.55%
Am. Indian & Alaskan	14	0.28%	311	0.52%	820	0.49%
Asian	246	4.88%	2,444	4.09%	6,704	4.04%
Hawaiian & Pacific Island	0	0.00%	42	0.07%	213	0.13%
Other	131	2.60%	1,912	3.20%	5,136	3.10%
U.S. Armed Forces	7		72		342	
Households						
2028 Projection	1,994		25,667		68,129	
2023 Estimate	1,741		23,317		61,831	
2010 Census	680		16,595		43,523	
Growth 2023 - 2028	14.53%		10.08%		10.19%	
Growth 2010 - 2023	156.03%		40.51%		42.07%	
Owner Occupied	1,272	73.06%	13,780	59.10%	36,870	59.63%
Renter Occupied	469	26.94%	9,537	40.90%	24,961	40.37%
2023 Households by HH Income	1,741		23,317		61,832	
Income: <\$25,000	204	11.72%	2,733	11.72%	7,841	12.68%
Income: \$25,000 - \$50,000	372	21.37%	4,035	17.30%	11,130	18.00%
Income: \$50,000 - \$75,000	547	31.42%	4,874	20.90%	11,665	18.87%
Income: \$75,000 - \$100,000	241	13.84%	4,183	17.94%	10,269	16.61%
Income: \$100,000 - \$125,000	124	7.12%	2,339	10.03%	6,330	10.24%
Income: \$125,000 - \$150,000	65	3.73%	1,719	7.37%	4,857	7.86%
Income: \$150,000 - \$200,000	162	9.30%	1,957	8.39%	5,710	9.23%
Income: \$200,000+	26	1.49%	1,477	6.33%	4,030	6.52%
2023 Avg Household Income	\$74,966		\$92,513		\$93,426	
2023 Med Household Income	\$58,272		\$75,099		\$75,682	

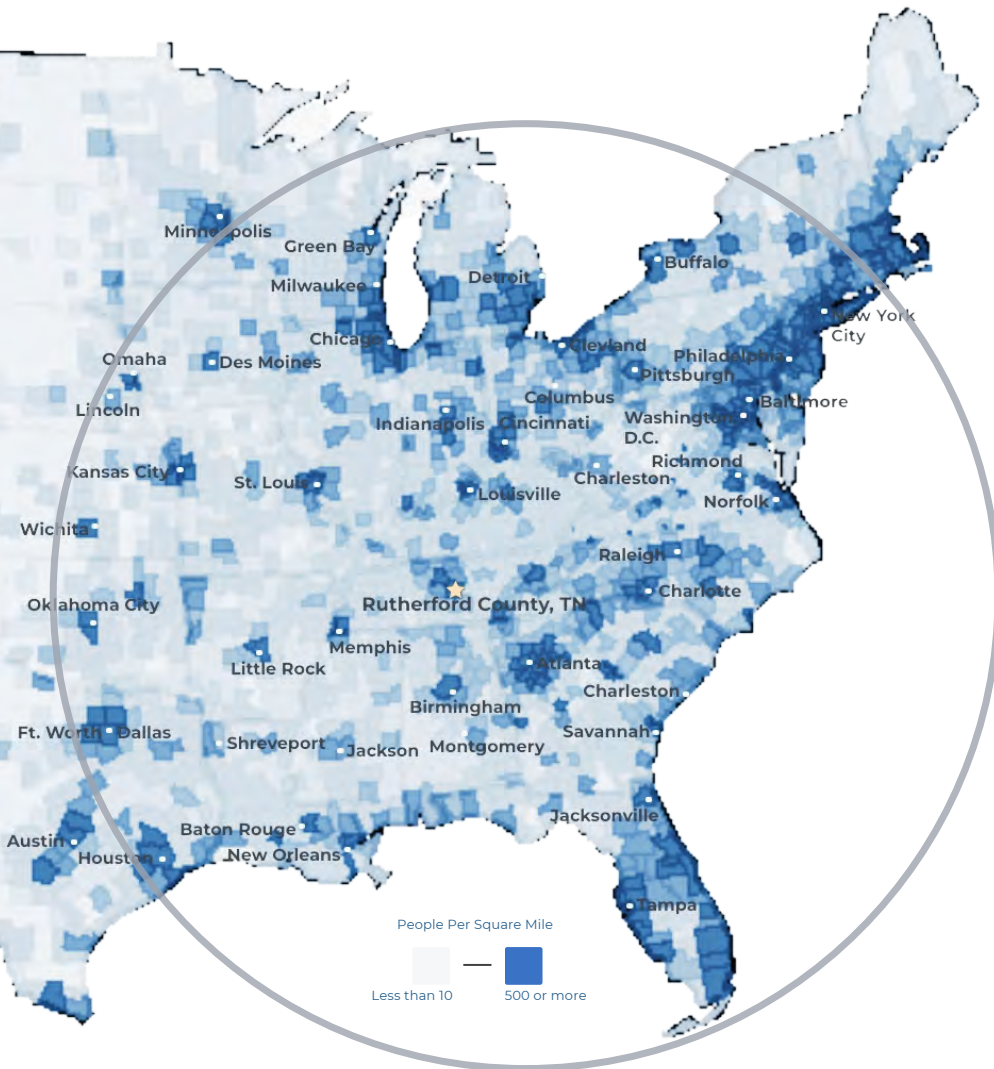
COMMUNITY SNAPSHOT

Rutherford County, TN

RUTHERFORD COUNTY CHAMBER OF COMMERCE & VISITORS CENTER

RUTHERFORD COUNTY, TN

RUTHERFORD COUNTY CHAMBER OF COMMERCE & VISITORS CENTER



#3 Boomtown in America
- SmartAsset 2022

#1 largest suburb
of Nashville, TN

#1 largest university in
Middle Tennessee
- Nashville Business Journal

#4 metro for economic
strength
- Policom 2022

4th best small city to buy
a home in the U.S.
- WalletHub 2021

8th fastest growing
midsize city in the U.S.
- Census 2020

50% of U.S. Population lives
with 650 mile radius

RUTHERFORD COUNTY INSIGHTS

3 major
interstates

1.6 million residents
within a 45 min
drive

12 million people
within a 2.5 hour
drive

#1 elementary, middle
and high schools in
Tennessee

30 minutes to Nashville
attractions

5 hospital expansions
since 2018 serving
infants to seniors

LARGEST PRIVATE EMPLOYERS & EMPLOYEE COUNT

Nissan	8,000	General Mills	1,000
Amazon	2,700	Bridgestone	987
Ascension Saint Thomas	1,741	TriStar StoneCrest	950
Ingram	1,700	Cardinal Health	816
Taylor Farms	1,700	Vijon	730
Asurion	1,250	Mahle	705

2023 RUTHERFORD COUNTY QUICK FACTS

Population 369,868	Median Home Price \$415,000	3 Colleges 25,000 students
Median Age 34	Median HH Income \$81,505	College Degrees 43% hold Associate or above

LABOR FORCE DATA	County	Tennessee	United States
Labor Force	199,566	3,392,133	166,661,000
Unemployment Rate	2.4%	3.5%	3.7%
Labor Force Participation Rate	68.0%	59.2%	62.2%

*Sources: Rutherford County Data, Redfin, TN Department of Labor, Lightcast as of January 2024

RECENT ANNOUNCEMENTS



Oshkosh Corporation subsidiary McNeilus creates 230 jobs to manufacture commercial vehicles within Murfreesboro in a 845K sf building.



BJ's Wholesale Club, a leading operator of membership warehouse clubs, opened a 100,000-square-foot building in LaVergne, TN in June of 2023.


SEWART'S
LANDING

Local Developer Equitable announces Stewart's Landing, a \$216M mixed-use, walkable lifestyle development with grocery, retail, restaurant, hotel, office, and for-sale condos



